



HUNTERS[®]

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E

Gill Croft, Easingwold, York

Guide Price £290,000

In need of some modernisation this three bedroom detached family home, situated in the popular market town of Easingwold is sure to appeal. Benefiting from extensive double glazing and gas fired central heating it briefly comprises: entrance lobby, hallway, shower room, lounge, dining room and kitchen. To the first floor are three bedrooms and a bathroom. Outside are gardens front and rear and there is a single garage. NO ONWARD CHAIN. EPC rating E. Council Tax Band E. Apply Easingwold Office on 01347 823535.

- **THREE BEDROOMS**
- **NO ONWARD CHAIN**

- **DETACHED HOUSE**
- **EPC RATING E**

- **MODERNISATION REQUIRED**
- **COUNCIL TAX BAND E**

ENTRANCE LOBBY

Accessed via part glazed Upvc front door, window to front aspect, radiator, wood laminate flooring, fully glazed door to hallway

HALLWAY

Fitted cupboard, stairs to first floor, radiator

SHOWER ROOM

Walk in shower cubicle with mains shower, low flush wc, pedestal wash basin, opaque window to side aspect, radiator

LOUNGE

Tiled fireplace, windows to rear and side aspects, radiators x 2

DINING ROOM

Window to rear aspect, fully glazed Upvc door to rear aspect, radiator

KITCHEN

Fitted with a range of base and overhead units with matching preparation surfaces, inset sink unit, integrated electric oven, and hob, walk in pantry, plumbing for washing machine, floor mounted central heating boiler, door to side aspect

FIRST FLOOR LANDING

Window to side aspect, airing cupboard, loft access point

BEDROOM ONE

Window to front aspect, radiator

BEDROOM TWO

Window to rear aspect, radiator

BEDROOM THREE

Fitted cupboard, eaves storage, window to rear aspect, radiator

BATHROOM

Panelled bath with electric shower over, low flush wc, pedestal wash basin, opaque window, radiator

OUTSIDE

To the front and side of the property is an enclosed lawned garden. with borders of shrubs and plants. There is gated access through to the rear The rear garden is laid mainly to lawn with borders of shrubs and trees. There is also a paved patio area and a summerhouse.

Agency Note

Please be advised that there is planning permission for residential development to the rear of this property which will be accessed from Husthwaite Road.

DISCLAIMER

These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate. If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered by our local offices we can arrange a Market Appraisal through our national network of Hunters estate agents.







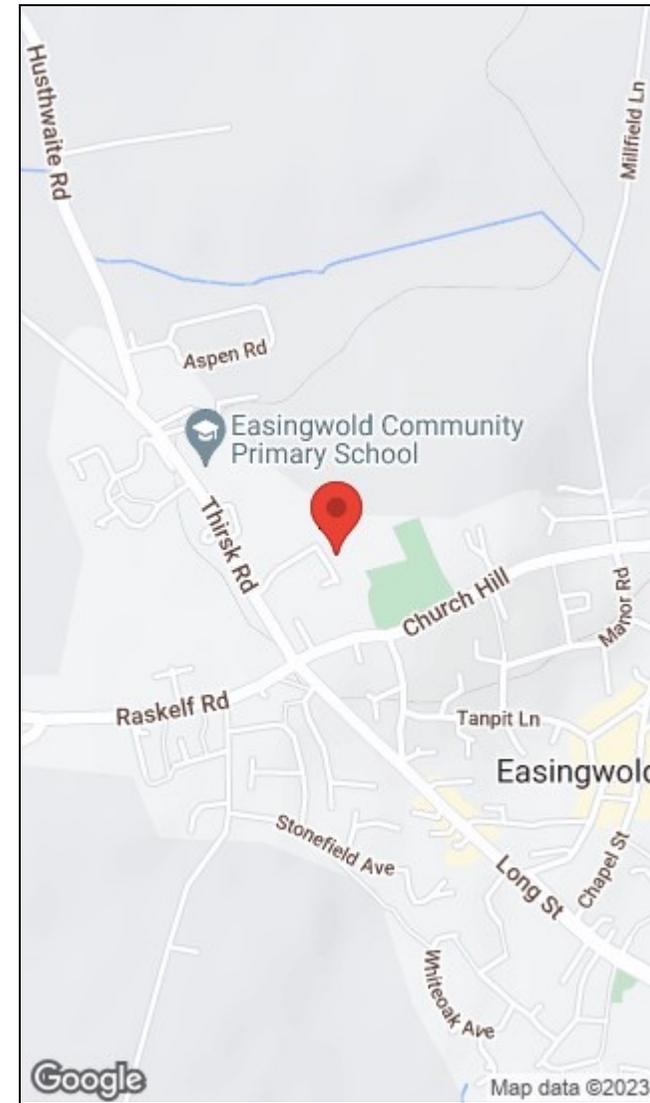
GROUND FLOOR
570 sq.ft. (52.9 sq.m.) approx.

1ST FLOOR
495 sq.ft. (46.0 sq.m.) approx.



TOTAL FLOOR AREA: 1065 sq.ft. (98.9 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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Energy Efficiency Rating	
Current	Potential
Very energy efficient - lower running costs	
(92 plus) A	81
(81-91) B	
(69-80) C	
(55-68) D	
(39-54) E	
(21-38) F	
(1-20) G	
Not energy efficient - higher running costs	
44	
EU Directive 2002/91/EC	
England & Wales	

Market Place, Easingwold, York, YO61 3AD | 01347 823535
easingwold@hunters.com | www.hunters.com



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